

SURVEYOR'S OFFICE

Hamilton County

Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

November 5, 2013

To: Hamilton County Drainage Board

Re: Vestal/Kirkendall Drainage Area, Fred Hines Arm – Slater Run Section 2 Relocation

Attached is a petition and plans for the proposed relocation of the Vestal/Kirkendall Drainage Area, Fred Hines Arm. The relocation is being proposed by M/I Homes of Indiana, LP. The proposal is to relocate the drain across parcel 10-10-04-00-00-027.000 owned by M/I Homes of Indiana, LP, parcel 10-10-04-00-00-028.000, owned by the City of Noblesville, parcel 10-10-04-00-07-039.000 owned by Slater Farms Homeowners Association, Inc. and parcel 10-10-04-00-00-002.000 owned by Keith A. and Janet A. Vawter and Michael P and Marsha M. McMillian JT as part of the Slater Run Section 2 project per plans by Terra Site Development, Inc., Job No. 130211-1.102, revision date 8/13/13.

Per the plans, the Fred Hines Drain will be reconstructed in Slater Run Section 2. This drain serves as the main trunk line for the northern end of the Slater Farms Development conveying storm water from upstream offsite areas and other Section 2 pipes before discharging into existing Pond #3.

This line will consist of the following:

21" RCP	897 ft.	48" RCP	259 ft.
36" RCP	42 ft.	Open Ditch	273 ft.
42" RCP	115 ft.		

The total length of new drain shall be 1,586 feet. A total of 1,238 feet of existing drain shall be relocated, which includes 428 feet of the main drain between Station 42+60 and 46+88 as well as 810 feet of Arm 5 between Station 2+27 and 10+37. This proposal will add 348 feet to the drains total length. The original drain was referenced in my previous report to the Board dated December 18, 2008 as recorded in Drainage Board Minutes Book 11, pages 540-544. Arm 5 was referenced in my report regarding the Crestview Relocation Arm 5 dated August 14, 2000 as recorded in Drainage Board Minutes Book 5, pages 468-569.

The drainage facilities to be constructed to be regulated drain are those pipes between Structures 511, 510, 117, 116, 115, 546, 305, 545, 307-305, 156 and EX1. In addition, the existing facilities between EX1, 155 and 154 (Ex. Pond #3) shall also be part of the regulated drain. The length of open drain through Pond #1 is measured in straight lines between Structure 545 and 156 as well as between Structures 115 and 156. The swale between Structures 155 and 115 serves as the emergency flood route for Crestview Relocation Arm 5 and shall also be part of the drain.

The cost of the relocation is to be paid by M/I Homes of Indiana, LP. The developer has provided the Performance Bond as follows:

Name of Bonding Company: Berkley Insurance Company
Bond No: 0174152
Bond Date: September 3, 2013
Bond Amount: \$227,371.80

Attached is a non-enforcement request. The easement for the new drain will be per the dimensions as shown on the secondary plat for Slater Run Section 2 as recorded in the Hamilton County Recorder's Office. This includes the rear yard easement for those lots abutting the ponds which are part of the drain. I recommend approval of the non-enforcement by the Board. Note: A portion of the pipe extending to existing Pond #3 will be located within existing regulated drain easement as referenced in my report to the Board for Slater Ridge Section 1 dated September 6, 2006 and as recorded in Drainage Board Minutes Book 9, pages 574-576. The easement on parcels 10-10-04-00-00-028.000 and 10-10-04-00-00-002.000 for the pipes located north of Pond #1 will continue to be covered by the existing statutory easement at this time.

The detention pond (Pond #1) located in Common Area T is to be considered part of the regulated drain. Pond maintenance shall include inlet, outlet and erosion control along the banks as part of the regulated drain. The maintenance of the pond such as mowing, aquatic vegetation control and sediment removal will be the responsibility of the Homeowners Association. The Board will also retain jurisdiction for ensuring the storage volume for which the pond was designed will be retained, thereby, allowing no fill or easement encroachments.

The project falls under the requirements as set out in IC 36-9-27-52.0. Therefore, a hearing is required for the petition. I recommend that the Board set a hearing date for January 27, 2014.

Sincerely,



Kenton C. Ward, CFM
Hamilton County Surveyor's Office

KCW/llm

HAMILTON COUNTY DRAINAGE BOARD
NOBLESVILLE, INDIANA

IN RE: Fred Hines Legal Drain)
Hamilton County, Indiana)


PETITION FOR RELOCATION AND RECONSTRUCTION

M/I Homes of Indiana, LP (hereinafter "Petitioner"),

hereby petitions the Hamilton County Drainage Board for authority to relocate and improve a section of the Fred Hines Drain, and in support of said petition advises the Board that:

1. Petitioner owns real estate through which a portion of the Fred Hines Drain runs.
2. Petitioner plans to develop its real estate with roads, buildings, utilities, storm drains, sanitary sewers and other structures. Within the proposed Slater Run Section 2 subdivision
3. Petitioner's proposed development of its real estate will require relocation and reconstruction of a portion of the Fred Hines Drain, as specifically shown on engineering plans and specifications filed with the Hamilton County Surveyor.
4. The work necessary for the proposed relocation and reconstruction will be undertaken at the sole expense of the Petitioner and such work will result in substantial improvement to the Fred Hines Drain, without cost to other property owners on the watershed of the Fred Hines Drain.

WHEREFORE, Petitioner requests that an Order issued from the Hamilton County Drainage Board authorizing relocation and reconstruction of the Fred Hines Drain, in conformance with applicable law and plans and specifications on file with the Hamilton County Surveyor.


Signed _____
Cliff White
Printed _____

STATE OF INDIANA)
)
COUNTY OF HAMILTON)

ss:

BEFORE THE HAMILTON COUNTY
DRAINAGE BOARD
NOBLESVILLE, INDIANA

IN THE MATTER OF THE
RECONSTRUCTION OF THE
***Vestal/Kirkendall Drainage Area, Fred Hines Arm - Slater Run Section 2
Relocation***

FINDINGS AND ORDER FOR RECONSTRUCTION

The matter of the proposed Reconstruction of the ***Vestal/Kirkendall Drainage Area, Fred Hines Arm - Slater Run Section 2 Relocation*** came before the Hamilton County Drainage Board for hearing ***on January 27, 2014***, on the Reconstruction Report consisting of the report and the Schedule of Damages and Assessments. The Board also received and considered the written objection of an owner of certain lands affected by the proposed Reconstruction, said owner being:

Evidence was heard on the Reconstruction Report and on the aforementioned objections.

The Board, having considered the evidence and objections, and, upon motion duly made, seconded and unanimously carried, did find and determine that the costs, damages and expenses of the proposed Reconstruction will be less than the benefits accruing to the owners of all land benefited by the Reconstruction.

The Board having considered the evidence and objections, upon motion duly made, seconded and unanimously carried, did adopt the Schedule of Assessments as proposed, subject to amendment after inspection of the subject drain as it relates to the lands of any owners which may have been erroneously included or omitted from the Schedule of Assessments.

The Board further finds that it has jurisdiction of these proceedings and that all required notices have been duly given or published as required by law.

Wherefore, it is ORDERED, that the proposed Reconstruction of the ***Vestal/Kirkendall Drainage Area, Fred Hines Arm - Slater Run Section 2 Relocation*** be and is hereby declared established.

Thereafter, the Board made inspection for the purpose of determining whether or not the lands of any owners had been erroneously included or excluded from the Schedule of Assessments. The Board finds on the basis of the reports and findings at this hearing as follows:

HAMILTON COUNTY DRAINAGE BOARD


VICE PRESIDENT


Member


Member

ATTEST:


Executive Secretary

BEFORE THE HAMILTON COUNTY DRAINAGE BOARD
IN THE MATTER OF

***Vestal/Kirkendall Drainage Area, Fred Hines Arm
Slater Run Section 2 Relocation***

NOTICE

To Whom It May Concern and: _____

Notice is hereby given of the hearing of the Hamilton County Drainage Board concerning the reconstruction of the **Vestal/Kirkendall Drainage Area, Fred Hines Arm, Slater Run Section 2 Relocation** on **January 27, 2014** at **9:05 A.M.** in Commissioners Court, Hamilton County Judicial Center, One Hamilton County Square, Noblesville, Indiana. Construction and maintenance reports of the Surveyor and the Schedule of Assessments proposed by the Drainage Board have been filed and are available for public inspection in the office of the Hamilton County Surveyor.

Hamilton County Drainage Board

Attest: Lynette Mosbaugh

ONE TIME ONLY

STATE OF INDIANA)
) SS BEFORE THE HAMILTON
)
COUNTY OF HAMILTON) DRAINAGE BOARD

**IN THE MATTER OF Vestal/Kirkendall Drainage Area,
Fred Hines Arm, Slater Run Section 2 Relocation**

NOTICE

Notice is hereby given that the Hamilton County Drainage Board at its regular meeting **January 27, 2014** adopted the reconstruction report of the Surveyor and the Amended Schedule of damages and assessments including annual assessment for periodic maintenance, finding that the costs, damages and expense of the proposed improvement would be less than the benefits which will result to the owner of lands benefited thereby.

The Board issued an order declaring the proposed improvement established. Such findings and order were marked filed and are available for inspection in the Office of the Hamilton County Surveyor.

If judicial review of the findings and order of the Board is not requested pursuant to Article VIII of the 1965 Indiana Drainage Code as amended within twenty (20) days from the date of publication of this notice, the findings and order shall become conclusive.

HAMILTON COUNTY DRAINAGE BOARD

BY: Steven C. Dillinger
VICE PRESIDENT

ATTEST: Lynette Mosbaugh
SECRETARY



SUBDIVISION PERFORMANCE BOND

Bond No.0174152

KNOW ALL MEN BY THESE PRESENTS, that **M/I Homes of Indiana, L.P.**, as Principal, and Berkley Insurance Company, 412 Mt. Kemble Ave., Suite 310N, Morristown, NJ 07960, a corporation duly organized in the State of Delaware and licensed to transact business in the State of **Indiana**, as Surety, are held and firmly bound unto **the Hamilton County Commissioners, 1 Hamilton County Square, Noblesville, IN 46060**, as Obligee, in the penal sum of **Two Hundred Twenty Seven Thousand Three hundred Seventy One & 80/100 Dollars (\$227,371.80)**, lawful money of the United States, for which payment, well and truly to be made, the Principal and Surety bind themselves, their legal representatives, successors and assigns, jointly and severally, firmly by these presents.

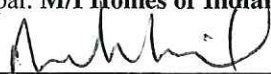
WHEREAS, the Principal has made application to the **Hamilton County Commissioners** and has received approval for the Subdivision plan, of certain property located in **Slater Run Section 2**; said plan is dated **August 15, 2013** improvements described as **Storm Sewers**

WHEREAS, the Principal agrees to complete said improvements within **One YEAR** and deliver to the Obligee the deed or deeds and as-built plans in conformity with the Subdivision Regulations

NOW, THEREFORE, THE CONDITION OF THIS OBLIGATION is such that, if the Principal shall complete said improvements, and shall fully indemnify and hold harmless the Obligee from all costs and damage which the Obligee may suffer by reason of failure to do so, then this obligation shall be null and void, otherwise it shall remain in full force and effect, subject to the following:

1. The term of this Bond shall run concurrently with the above referenced time for completion.
2. This Bond may be renewed or extended at the sole discretion of the Surety.
3. The Obligee shall provide to the Surety at the address indicated above, written notice of the Principal's failure to perform concurrently with delivery of such notice to Principal; said notice may be mailed at any time during the term of the Bond but not later than ninety days (90 days) from the expiration.
4. In the event the Obligee declares the Principal to be in default in accordance with the terms of the Subdivision Agreement and formally terminates the Principal's right to complete the improvements, the Surety shall within a reasonable time take one of the following actions:
 - 4.1 Obtain bids or negotiated proposals from qualified contractors to undertake performance and completion of the Contract; arrange for a contract with the Obligee secured with a like performance bond; and pay to the Obligee the amount of damages in excess of the balance of the Contract Price, if any, incurred by the Obligee resulting from the Principal's default; or
 - 4.2 Waive its right to arrange for completion and tender completion to the Obligee; or
 - 4.3 After investigation, determine the amount for which it may be liable to the Obligee and tender payment thereof to the Obligee.
5. The total liability of the Surety during the term of this bond and all renewal terms for any and all claims shall in no event exceed the penal sum of this obligation as herein stated.
6. The obligation of the Surety and liability of this bond will not respond to any liability or claim arising from design or efficiency guarantees.
7. No right of action shall accrue on this Bond to or for the use of any person or corporation other than the Obligee.

Signed, sealed and dated this **3rd** day of **SEPTEMBER, 2013**.

Principal: **M/I Homes of Indiana, L.P.** (seal)
 By:  **Mark Kirkendall**
VP, Housing & Land Control

Berkley Insurance Company
 By:  (seal)
Kimberly G. Sherrod, Attorney-in-Fact

Instructions for Inquiries and Notices Under the Bond Attached to This Power

Berkley Surety Group, LLC is the affiliated underwriting manager for the surety business of: Acadia Insurance Company, Berkley Insurance Company, Berkley Regional Insurance Company, Carolina Casualty Insurance Company, Union Standard Insurance Company, Continental Western Insurance Company, and Union Insurance Company.

To verify the authenticity of the bond, please call (866) 768-3534 or email BSGInquiry@berkleysurety.com

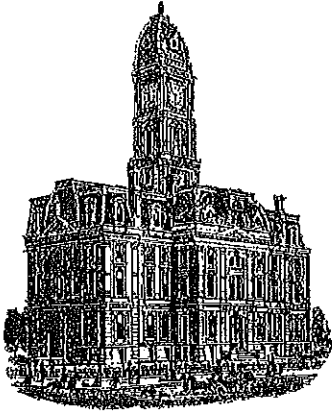
Any written notices, inquiries, claims or demands to the surety on the bond to which this Rider is attached should be directed to:

Berkley Surety Group, LLC
412 Mount Kemble Avenue
Suite 310N
Morristown, NJ 07960
Attention: Surety Claims Department

Or

email BSGClaim@berkleysurety.com

Please include with all notices the bond number and the name of the principal on the bond. Where a claim is being asserted, please set forth generally the basis of the claim. In the case of a payment or performance bond, please identify the project to which the bond pertains.



Kenton C. Ward, CFM
Surveyor of Hamilton County
Phone (317) 776-8495
Fax (317) 776-9628

Suite 188
One Hamilton County Square
Noblesville, Indiana 46060-2230

To: Hamilton County Drainage Board

February 5, 2016

Re: Fred Hines Drain: Slater Run Section 2 Relocation

Attached are as-built, certificate of completion & compliance, and other information for Slater Run Section 3. An inspection of the drainage facilities for this section has been made and the facilities were found to be complete and acceptable.

During construction, changes were made to the drain, which will alter the plans submitted with my report for this drain-dated November 5, 2013. The report was approved by the Board at the hearing held January 27, 2014. (See Drainage Board Minutes Book 15, Pages 326-8) The changes are as follows:

12" RCP was installed for a total of 67 feet. 18" RCP was installed for a total of 101 feet. 21" RCP was lengthened from 897 feet to 910 feet. The 36" RCP was not installed. The 42" RCP was shortened from 115 feet to 16 feet. The 48" RCP was shortened from 259 feet to 258 feet. The project installed 54" RCP for a total of 76 feet. The open ditch was shortened from 273 feet to 196 feet. The length of the drain due to the changes described above is now **1,624 feet**.

It should be noted that the original tile was intercepted by Structure 546B on shown on the as-built. The tile, once it was field located, was determined to be further west than originally believed. The main tile was removed from Sta. 42+60 to Sta. 46+88. Also, removed was Arm 5 between Sta. 2+27 to Sta. 10+37 and 251'-18" RCP installed with the 2004 Crestview Relocation. Therefore, this project added 408 feet to the drain's overall length.

The non-enforcement was approved by the Board at its meeting on January 27, 2014 and recorded under instrument #2014049931.

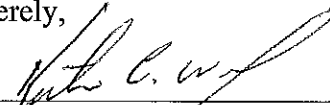
The following sureties were guaranteed by Berkley Insurance Company and released by the Board on its January 25, 2016 meeting.

Bond-LC No: 0174152

Amount: \$227,371.80
For: Storm Sewers & SSD
Issue Date: September 3, 2013

I recommend the Board approve the drain's construction as complete and acceptable.

Sincerely,

A handwritten signature in cursive script, appearing to read "Kenton C. Ward", written over a horizontal line.

Kenton C. Ward, CFM
Hamilton County Surveyor

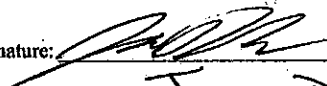
CERTIFICATE OF COMPLETION AND COMPLIANCE

To: Hamilton County Surveyor

Re: Slater Run Sec. 2

I hereby certify that:

1. I am a Registered Land Surveyor or Engineer in the State of Indiana.
2. I am familiar with the plans and specifications for the above referenced subdivision.
3. I have personally observed and supervised the completion of the drainage facilities for the above referenced subdivision.
4. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been installed and completed in conformity with all plans and specifications.
5. The drainage facilities within the above referenced subdivision to the best of my knowledge, information and belief have been correctly represented on the Record Drawings, Digital Record Drawings and the Structure Data Spreadsheet.

Signature:  Date: 2-11-15
Type or Print Name: James D. Hall
Business Address: Terra Site Development
1307 W. 161st Street, Westfield, IN. 46074
Telephone Number: 317-696-3594



INDIANA REGISTRATION NUMBER
LS 20500017

Slater Run Section 2 Site Construction Plans

Part of the SW 1/4, Sec 4, T18N, R4E, Hamilton County, Noblesville, Indiana

DEVELOPER:

M/I Homes of Indiana, L.P.
8500 Keystone Crossing S590
Indianapolis, IN 46240

Contact: Cliff White
317-255-9900
Email: cwhite@mihomes.com

SITE DATA:

EXISTING ZONING:

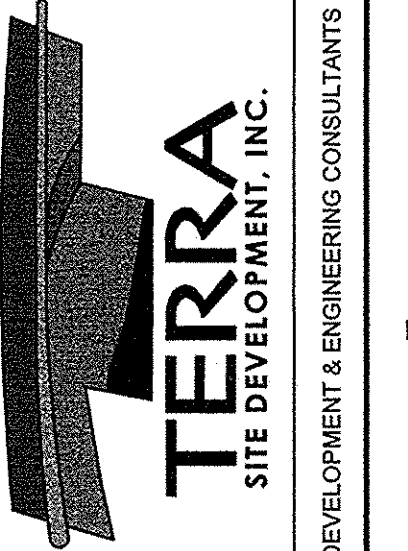
PUD - Slater Farms
Minimum Lot Area: 10,000 SF
Minimum Lot Width at B.L.: 80'
Minimum Front Yard Setback: 25'
Minimum Side Yard Setback: 5' w/ 15' Aggregate
Minimum Rear Yard Setback: 25'

ADJACENT ZONING:

North: SR
South: PUD - Slater Farms
East: PUD - Slater Farms
West: SF-3 (Westfield Zoning)

DATE:

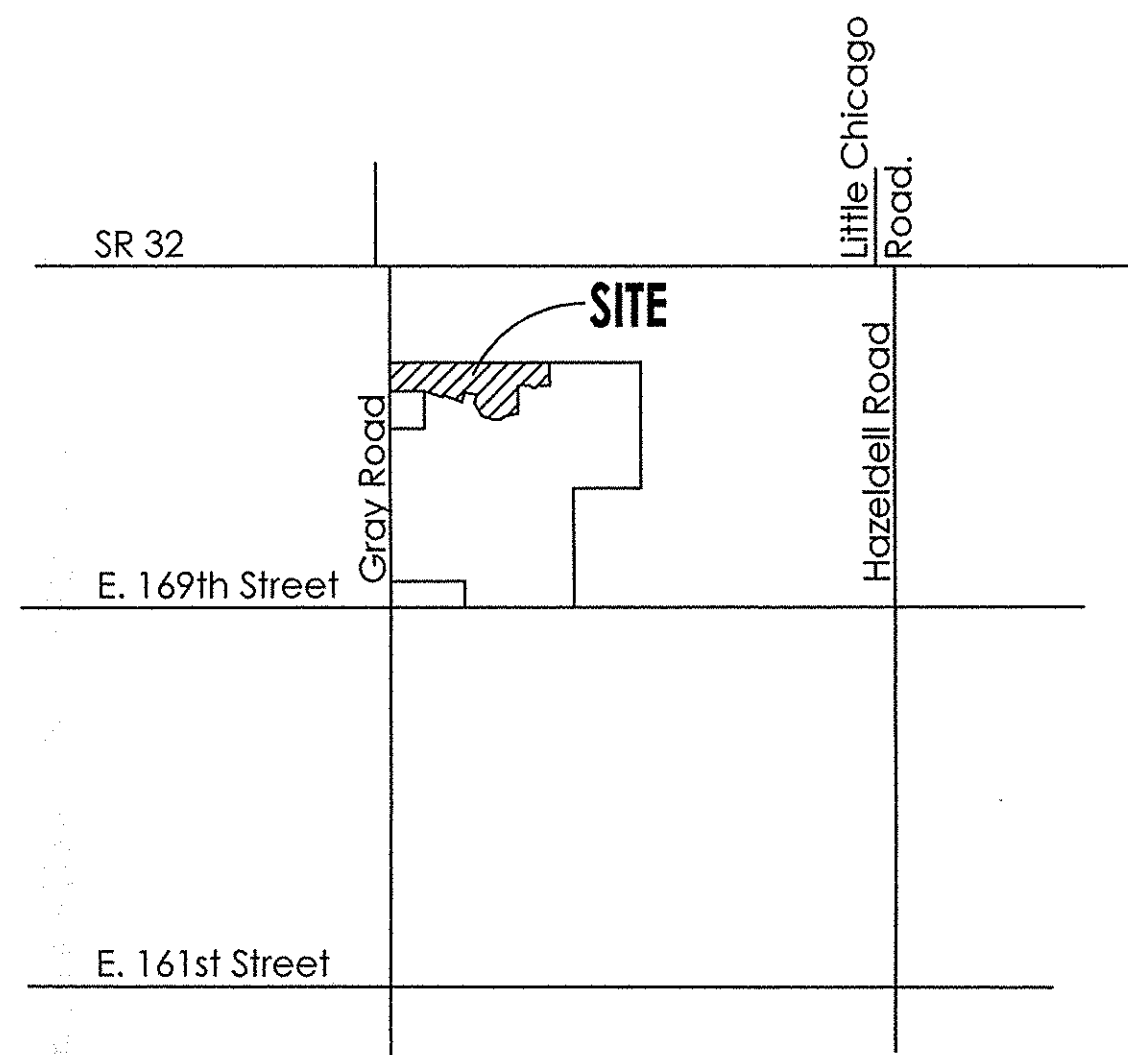
NORTH
1307 W. 161st Street
Westfield, Indiana 46074
P: 317.398.1218
www.TERRAsitedev.com



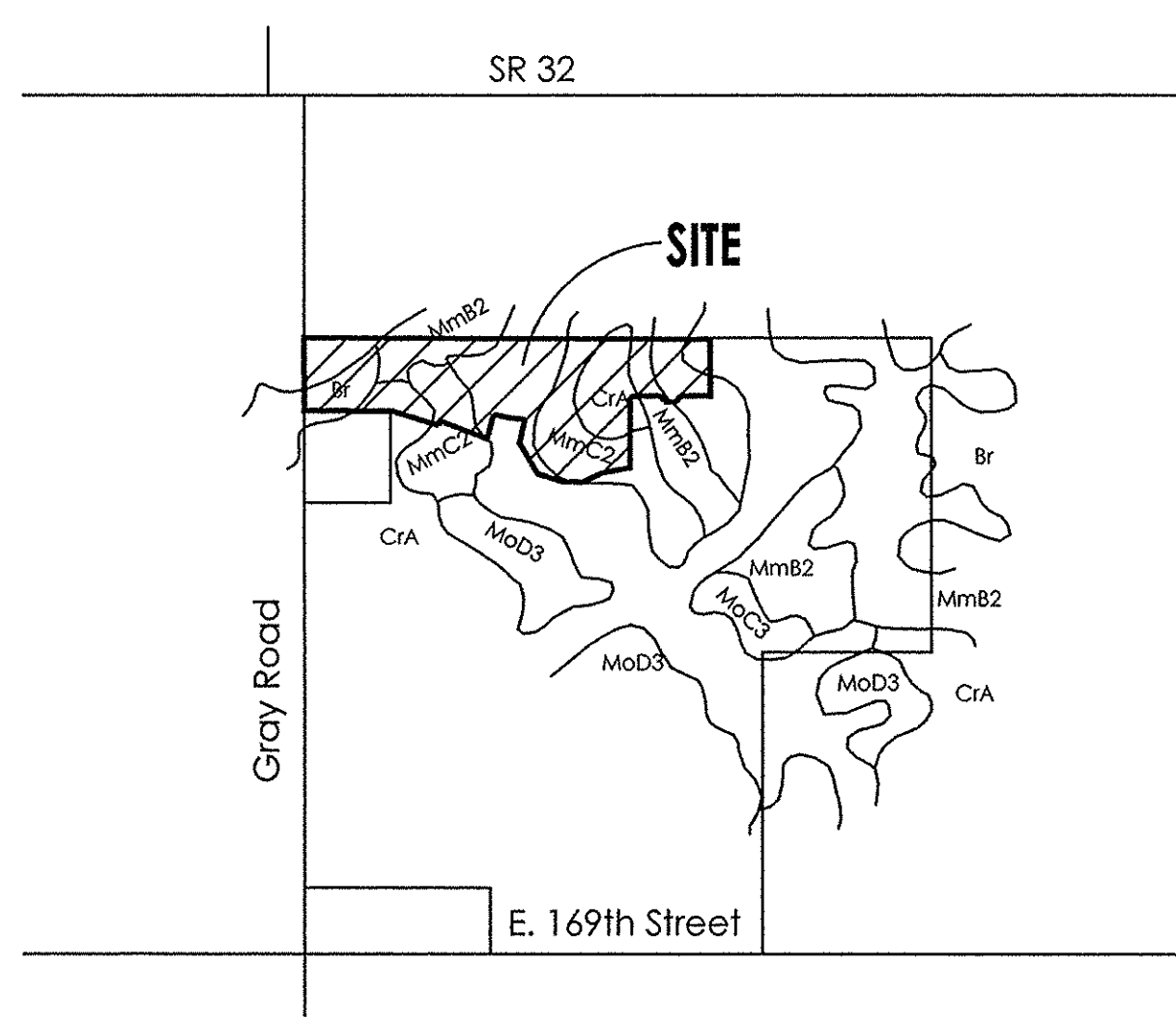
SLATER RUN SECTION 2
Hamilton County, Noblesville, IN
M/I Homes of Indiana, L.P.
8500 Keystone Crossing S590
Indianapolis, IN 46240

NO.	DATE	DESCRIPTION
1	02/03/2016	PROPOSED COLOR
2	02/03/2016	REVISIONS TO PLAN
3	02/03/2016	REVISIONS TO PLAN
4	02/03/2016	REVISIONS TO PLAN
5	02/03/2016	REVISIONS TO PLAN
6	02/03/2016	REVISIONS TO PLAN
7	02/03/2016	REVISIONS TO PLAN
8	02/03/2016	REVISIONS TO PLAN
9	02/03/2016	REVISIONS TO PLAN
10	02/03/2016	REVISIONS TO PLAN
11	02/03/2016	REVISIONS TO PLAN
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13	02/03/2016	REVISIONS TO PLAN
14	02/03/2016	REVISIONS TO PLAN
15	02/03/2016	REVISIONS TO PLAN
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18	02/03/2016	REVISIONS TO PLAN
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47	02/03/2016	REVISIONS TO PLAN
48	02/03/2016	REVISIONS TO PLAN
49	02/03/2016	REVISIONS TO PLAN
50	02/03/2016	REVISIONS TO PLAN

DATE	DESCRIPTION
APR 28 2014	APRIL 28 2014
130211-1.102	PROJECT NUMBER
DTR	CHECKED BY
DKS	DRAWN BY
COVER SHEET	SHEET TITLE
C100	SHEET #
of 2	



VICINITY MAP
No Scale



SOILS MAP
No Scale

SIDEWALK AND CURB INVENTORY	
SIDEWALK TYPE	LENGTH
ALL WALKS	4020 LF
COMMON	560 LF
MULTI-USE PATH	485 LF
CURB TYPE	
ROLL CURB	4267 LF

SANITARY SEWER STRUCTURE TABLE				
SANITARY MANHOLE TYPE	QUANTITY	NEENAH	E. JORDAN	
TYPE "A"	8	R-1772-C	1022-2	
TYPE "B"	2	R-1772-C	1022-2	

SANITARY PIPE INVENTORY			
PIPE TYPE	DEPTH	LENGTH (LF)	
8" PVC (SDR-35)	8' - 10'	731	
8" PVC (SDR-26)	12' - 14'	566	
8" PVC (SDR-26)	14' - 18'	85	
8" PVC (SDR-26)	18' - 24'	97	
8" PVC (SDR-26)	28' - 30'	189	
TOTAL 8"		1668	
10" PVC (SDR-26)	26' - 28'	205	
10" PVC (SDR-26)	28' - 30'	89	
10" PVC (SDR-26)	30' - 32'	173	
TOTAL 10"		467	

STORM STRUCTURE TABLE			
STRUCTURE	TYPE	NEENAH	E. JORDAN
100	END SECTION	NA	NA
101	BEEHIVE INLET TYPE C	R-4342	6489
102	BEEHIVE INLET TYPE C	R-4342	6489
103	MANHOLE TYPE C	R-1772	1022
104	BEEHIVE INLET TYPE E	R-4215-C	6610
112	CURB INLET TYPE A	R-3501	7495-M4
113	CURB INLET TYPE A	R-3501	7495-M4
115	END SECTION	NA	NA
116	BEEHIVE INLET TYPE C	R-4342	6489
117	BEEHIVE INLET TYPE C	R-4342	6489
118	CURB INLET TYPE A	R-3501	7495-M4
119	CURB INLET TYPE A	R-3501	7495-M4
156	END SECTION	NA	NA
158	CURB INLET TYPE C	R-3501	7495-M4
159	CURB INLET TYPE A	R-3501	7495-M4
246	END SECTION	NA	NA
247	CURB INLET TYPE C	R-3501	7495-M4
248	CURB INLET TYPE A	R-3501	7495-M4
249	CURB INLET TYPE A	R-3501	7495-M4
510	BEEHIVE INLET TYPE C	R-4342	6489
511	BEEHIVE INLET TYPE C	R-4342	6489
264	CURB INLET TYPE C	R-3501	7495-M4
265	CURB INLET TYPE A	R-3501	7495-M4
308	BEEHIVE INLET TYPE C	R-4342	6489
EX1	MANHOLE TYPE K	R-1772	1022
545	END SECTION	NA	NA
305	MANHOLE TYPE K	R-1772	1022
546	BEEHIVE INLET TYPE K	R-4342	6489

STORM PIPE INVENTORY		
PIPE TYPE	DEPTH	QUANTITY (LF)
12" RCP CLASS III	4' - 6'	787
12" RCP CLASS III	8' - 10'	238
15" RCP CLASS III	8' - 10'	187
15" RCP CLASS IV	10' - 12'	137
21" RCP CLASS III	6' - 8'	517
21" RCP CLASS III	8' - 10'	622
21" RCP CLASS III	10' - 12'	144
21" RCP CLASS III	12' - 14'	197
36" RCP CLASS III	6' - 8'	42
42" RCP CLASS III	4' - 6'	28
42" RCP CLASS III	6' - 8'	41
42" RCP CLASS IV	10' - 12'	46

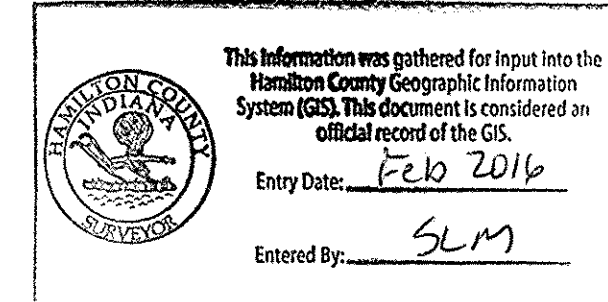
STREET SUMMARY		
NAME	LENGTH (FEET)	LENGTH (MILES)
Waterhaven Drive	1,832	0.35
Bluestone Drive	111	0.02
TOTAL	1,943	0.37

STORM STRUCTURE INVENTORY		
STORM STRUCTURE TYPE	QUANTITY	
INLET TYPE "A"	8	
INLET TYPE "C"	10	
INLET TYPE "E"	1	
INLET TYPE "K"	1	
CATCH BASIN TYPE "B"		
CATCH BASIN TYPE "C"		
MANHOLE TYPE "C"	1	
MANHOLE TYPE "H"		
MANHOLE TYPE "L"		
MANHOLE TYPE "K"	2	
CONCRETE END SECTION	5	

STREET LIGHT AND SIGN INVENTORY	
STREET LIGHT TYPE	QUANTITY
AREA LIGHT	4
SIGN TYPE	
STOP	8
SPEED LIMIT	2
STREET NAME	2

INDEX	
SHEET No:	SHEET NAME
C100	COVER SHEET
C101	-SITE DEVELOPMENT PLAN- GRADING & SUBSURFACE DRAINS
-C102-	-STORM WATER POLLUTION PREVENTION PLANS-
-C103-	-STORM WATER POLLUTION PREVENTION DETAILS-
-C104-	-STORM WATER POLLUTION PREVENTION NOTES-
C105	LIGHTING & SIGNAGE PLAN
-C201-	-STREET PLAN & PROFILES-
-C301-	-INTERSECTION DETAILS-
C401-C402	SANITARY SEWER PLAN & PROFILES
C601-C603	STORM SEWER PLAN & PROFILES
C701	WATER DISTRIBUTION PLAN
-C801-C802-	-GENERAL DETAILS-
-1-13-	-NOBLESVILLE STANDARD DETAILS-

NOTE: THE NOBLESVILLE STANDARDS SHALL BE INCORPORATED BY REFERENCE INTO THESE PLANS.



CONTACTS:

NOBLESVILLE DEPARTMENT OF PLANNING & DEVELOPMENT
16 S. 10TH STREET S150
NOBLESVILLE, IN 46060
JOYCEANN YELTON 317-776-4325

NOBLESVILLE WASTEWATER UTILITY
197 W. WASHINGTON STREET
NOBLESVILLE, IN 46060
RAY THOMPSON 317-776-4353

NOBLESVILLE DEPARTMENT OF ENGINEERING
16 S. 10TH STREET S155
NOBLESVILLE, IN 46060
ROD DOUGAN 317-776-6330

NOBLESVILLE FIRE DEPARTMENT
135 S. 9TH STREET
NOBLESVILLE, IN 46060
MAIT MITCHELL 317-776-6336

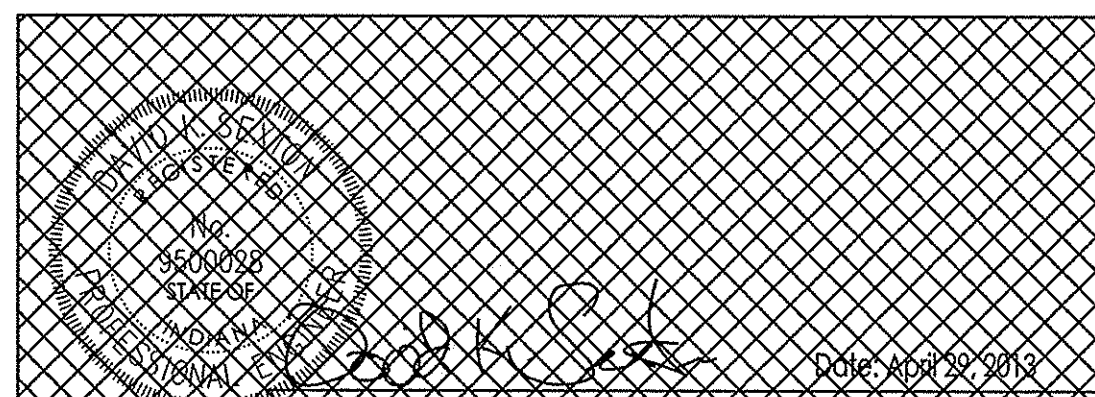
NOBLESVILLE M&A
16 S. 10TH STREET S155
NOBLESVILLE, IN 46060
IRA GOLDFARB 317-776-6330

CITIZENS WATER
1220 WATERWAY BLVD.
INDIANAPOLIS, IN 46202
DALE KOCH 317-264-7715

VECTREN ENERGY DELIVERY
16000 ALISONVILLE ROAD
NOBLESVILLE, IN 46061
RANDY CRUTCHFIELD 317-776-5560

RECORD DRAWINGS

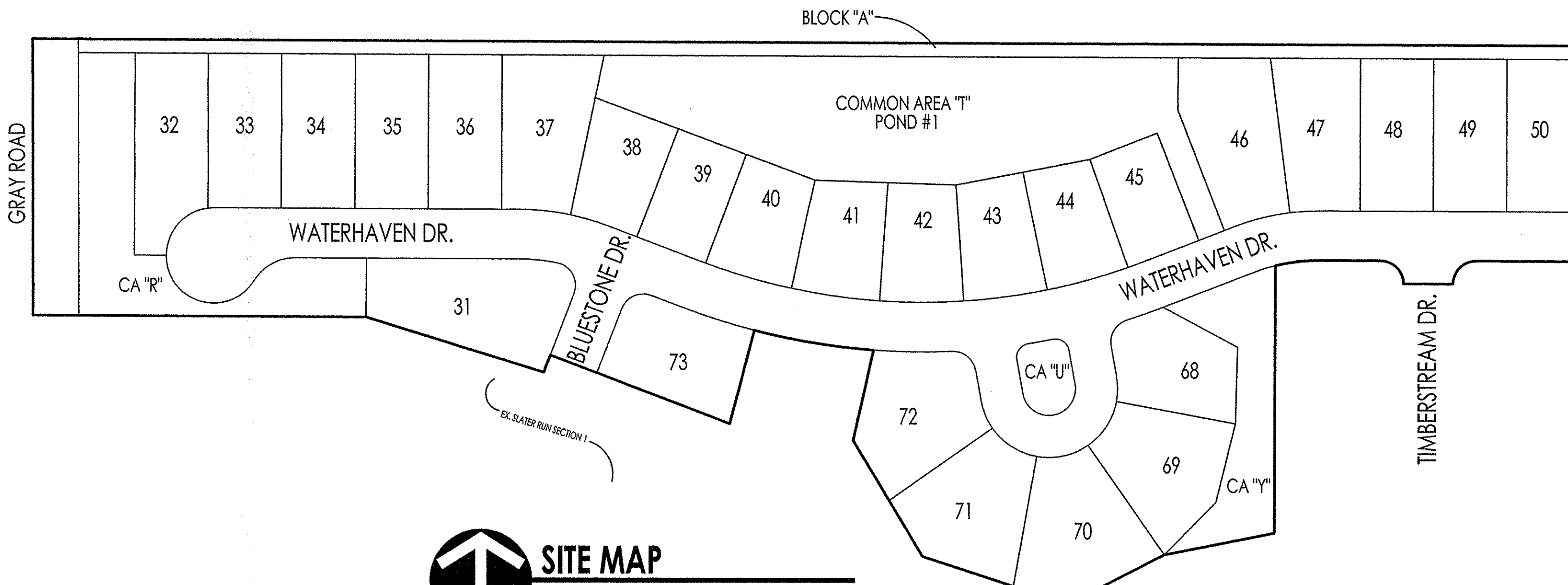
Grading
Lighting & Signage
Subsurface Drains
Sanitary Sewers
Storm Sewers
Water Distribution



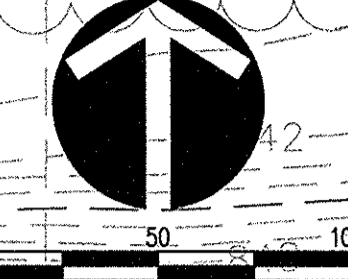
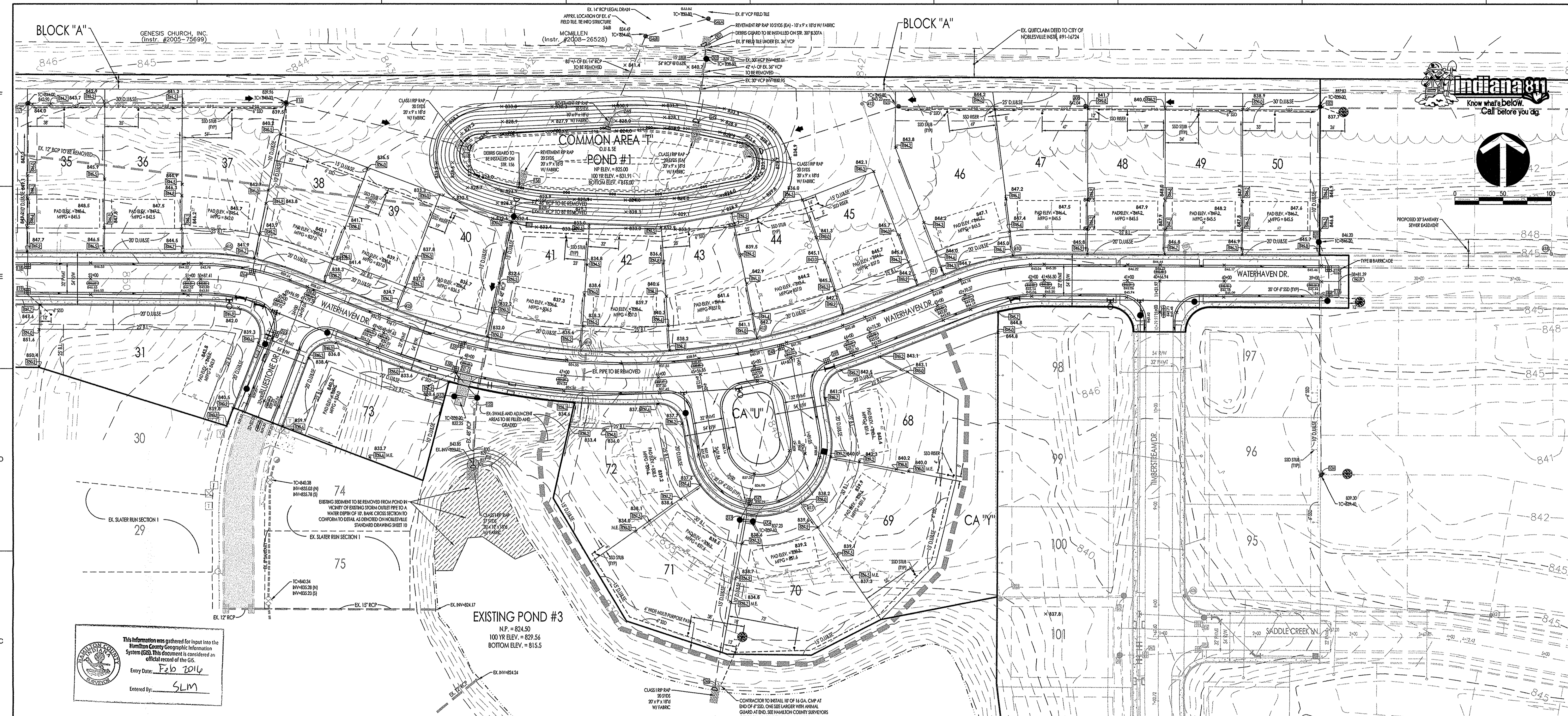
Certified by David K. Sexton, P.E.
I, David K. Sexton, certify that I am a registered Professional Engineer in the State of Indiana and the Construction Plans contained herein are in compliance with the City of Noblesville Technical Design Standards.
Email Address: dsexton@TERRAsitedev.com

DEC 16 2015

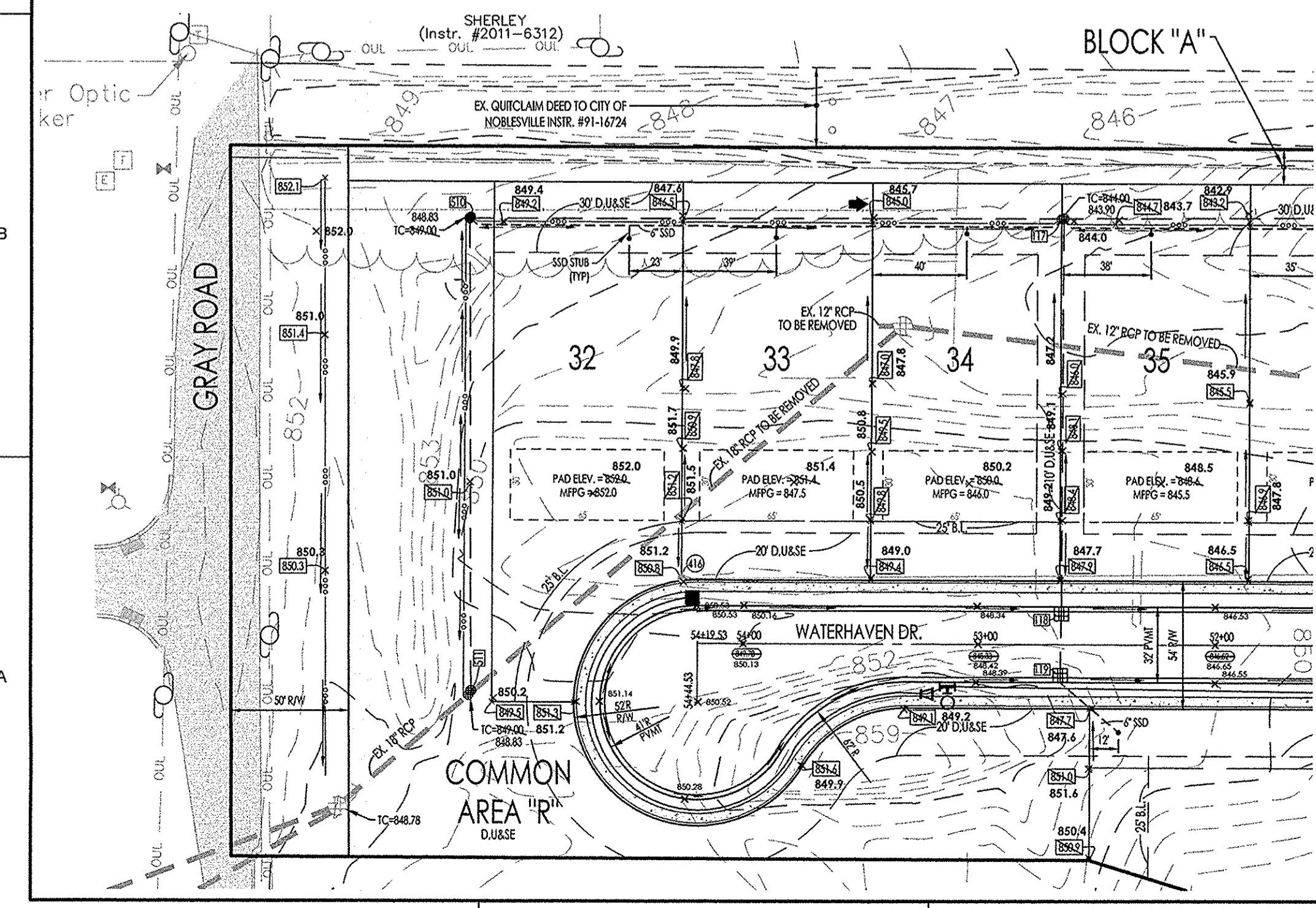
The documents are subject to periodic revisions by TERRA Site Development, Inc. The holder is responsible for verifying that these documents are the most current prior to use.



SITE MAP
Scale 1"=100'



This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
 Entry Date: Feb 2016
 Entered By: SLM



NOTES

1. ALL STREETS, CURBS, WALKS, SANITARY SEWER, STORM SEWERS AND DRAINAGE IMPROVEMENTS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF NOBLESVILLE CONSTRUCTION STANDARDS AND SPECIFICATIONS.
2. ALL STREET RIGHT OF WAY INTERSECTIONS TO BE ROUNDED OFF WITH A 25' RADIUS UNLESS OTHERWISE NOTED.
3. ALL STREET CURB INTERSECTIONS TO BE ROUNDED WITH A RADIUS OF 25' UNLESS OTHERWISE NOTED.
4. NO DRIVEWAY SHALL BE LOCATED WITHIN 75' OF THE CENTERLINE INTERSECTION TWO STREETS.
5. ALL SIDEWALKS TO BE 4' WIDE UNLESS OTHERWISE NOTED.
6. ALL INTERIOR RIGHT OF WAY WIDTHS TO BE 54' UNLESS OTHERWISE NOTED.
7. ALL INTERIOR STREET WIDTHS TO BE 32' (BACK OF CURB TO BACK OF CURB) UNLESS OTHERWISE NOTED.
8. THE BOUNDARY AND TOPOGRAPHIC INFORMATION DENOTED HEREON IS BASED UPON A SURVEY PERFORMED HAHN SURVEYING GROUP, INC., MARCH, 2013
9. LOCATIONS OF UTILITIES SHOWN WITHIN THESE PLANS ARE BASED UPON INFORMATION OBTAINED FROM UTILITY COMPANIES OR THEIR REPRESENTATIVES AND FIELD EVIDENCE OF IMPROVEMENTS VISIBLE ON THE GROUND SURFACE. EXACT LOCATIONS OF UNDERGROUND UTILITIES HAVE NOT BEEN VERIFIED. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND REQUEST FIELD LOCATIONS OF SUCH WITHIN THE WORK AREA PRIOR TO COMMENCING EXCAVATION ACTIVITIES. THE CONTRACTOR SHALL REPORT ANY VARIATIONS FROM THE LOCATIONS SHOWN THAT MAY PRESENT A CONFLICT WITH EXECUTION OF THE WORK TO THE ENGINEER IN ADVANCE OF CONSTRUCTION.
10. MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL APPLICABLE CODES, SPECIFICATIONS, LOCAL ORDINANCES, INDUSTRY STANDARDS AND UTILITY COMPANY REGULATIONS
11. ALL DIMENSIONS SHOWN ARE MEASURED TO THE BACK OF CURB, UNLESS OTHERWISE SHOWN.

BENCHMARK

- BASIS OF ELEVATIONS:**
 A STATE SURVEY STANDARD DISK, STAMPED 104 AND SET IN THE TOP OF A CONCRETE POST FLUSH WITH THE GROUND. AT THE SOUTHWEST CORNER OF MILL CREEK ROAD AND THE OLD CENTRAL INDIANA RAILROAD. NOTE: DISK FOUND IS A C.G.S. DISK AND IS NOT STAMPED.
 ELEVATION = 809.09 (NAVD 88).
- TBM #1:**
 CUT SQUARE SET ON THE NORTH RIM OF A SANITARY MANHOLE NEAR THE NORTHWEST CORNER OF LOT 66 IN SLATER RIDGE SECTION 1.
 ELEVATION = 837.84- MANHOLE CASTING RESET
- TBM #2:**
 CUT SQUARE ON THE NORTHWEST CORNER OF A CONCRETE WALK NEAR THE NORTHWEST CORNER OF LOT 74 IN SLATER RUN SECTION 1.
 ELEVATION = 839.83
- TBM #3:**
 MAG SPIKE SET 1 FOOT UP IN POWER POLE #057-007 ALONG THE EAST SIDE OF GRAY ROAD NEAR THE SOUTHWEST CORNER OF THE SURVEYED TRACT.
 ELEVATION = 853.59

LEGEND

- EX. TELEPHONE LINE
- OVERHEAD ELECTRIC LINE
- EX. TELEPHONE PEDESTAL
- EX. POWER POLE
- BM / TBM
- EX. STORM SEWER
- EX. SANITARY SEWER
- EX. WATERMAIN & HYDRANT
- EX. GAS MAIN
- EX. FENCE
- PROPOSED WATER & HYDRANT
- PROPOSED SANITARY SEWER, MANHOLE & LATERAL
- D.U.&S.E. DRAINAGE, UTILITY AND SEWER EASEMENT
- PROPOSED STORM SEWER
- PROPOSED STORM MANHOLE
- PROPOSED CURB INLET
- PROPOSED BEEHIVE
- PROPOSED END SECTION W/ RIP RAP
- PROPOSED FLOWLINE
- PROPOSED PAD LIMITS
- MINIMUM FLOOD PROTECTION GRADE

RECORD DRAWING

Grading, Subsurface Drains, Sanitary Sewer, Storm Sewer & Water Distribution



CERTIFIED BY: *[Signature]* SEPTEMBER 4, 2014

NOTE: RECORD DRAWING CERTIFICATION IS ONLY FOR STORM SEWER, HOUSE SUBSURFACE DRAIN LATERAL AND SANITARY SEWER MAIN AND LATERAL LOCATION MARKERS AND IS FOR GENERAL INFORMATION ONLY.

TERRA
 SITE DEVELOPMENT, INC.
 DEVELOPMENT & ENGINEERING CONSULTANTS

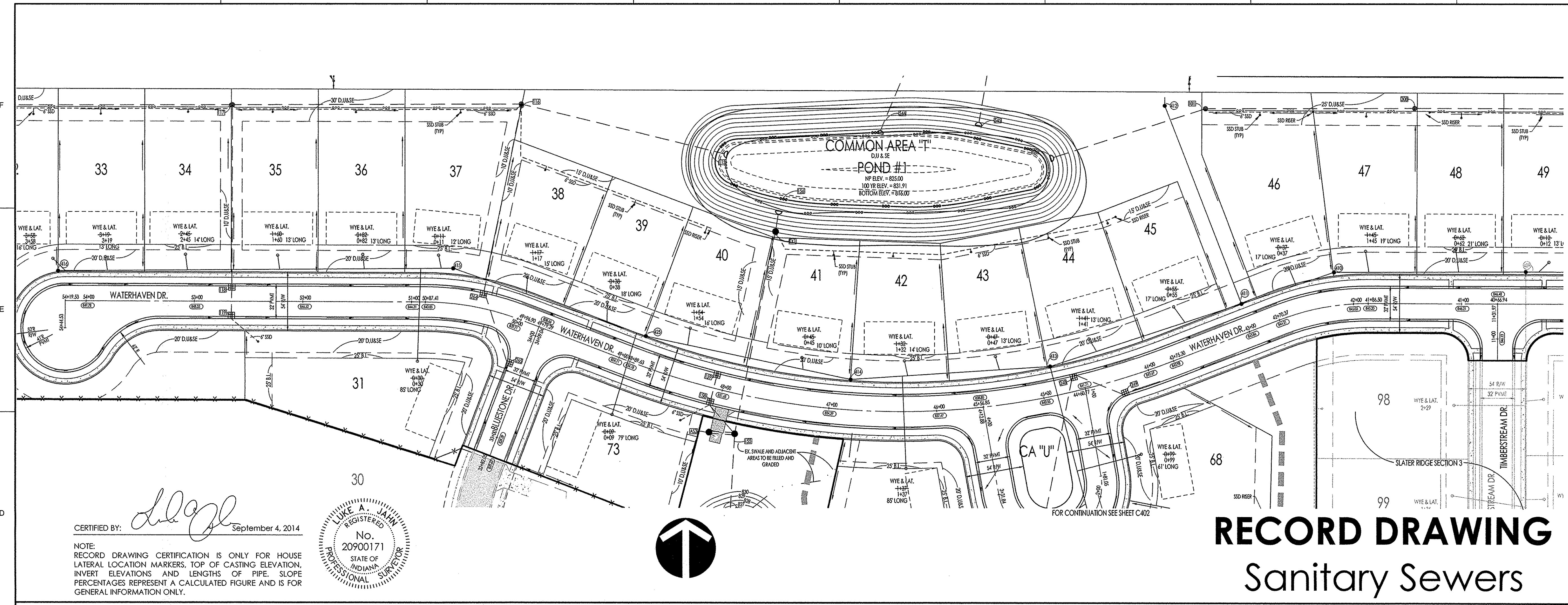
1307 W. 161st Street
 Westfield, Indiana 46074
 P: 317.399.1218
 F: 317.393.3049
 www.terraengineer.com

SLATER RUN SECTION 2
 Hamilton County, Noblesville, IN
 M/I Homes of Indiana, L.P.
 8500 Keystone Crossing, S590
 Indianapolis, IN 46240

REVISIONS:	DATE	BY	DESCRIPTION

DRAWING FILES:

DATE: April 28, 2014
 PROJECT NUMBER: 130211-1.102
 DRAWN BY: DTR
 CHECKED BY: DKS
 SHEET TITLE: SITE DEVELOPMENT PLAN
 SHEET #: C101 of 2



NOTES

- ALL STREETS TO BE 32' IN WIDTH (MEASURED FROM 8' & 8' OF CURB) UNLESS OTHERWISE NOTED.
- ALL RIGHTS-OF-WAY TO BE 54' IN WIDTH UNLESS OTHERWISE NOTED.
- ALL CURB RADIUS AT INTERSECTIONS ARE 25' TO BACK OF CURB UNLESS OTHERWISE NOTED.
- ALL STREET RIGHT OF WAY INTERSECTIONS TO BE ROUNDED WITH A 25' RADIUS UNLESS OTHERWISE NOTED.
- TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
- ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
- CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
- ALL STREETS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF NOBLESVILLE STANDARDS AND SPECIFICATIONS.
- LATERALS ARE STATIONED FROM NEAREST DOWNSTREAM MANHOLE.
- WYES AND LATERALS TO BE 6" DIAMETER PIPE.

BECHMARKS

BASE OF ELEVATIONS:
A STATE SURVEY STANDARD DISK, STAMPED 104 AND SET IN THE TOP OF A CONCRETE POST RUSH WITH THE GROUND, AT THE SW CORNER OF MILL CREEK ROAD AND THE OLD CENTRAL INDIANA PARKWAY. NOTE: DISK FOUND & A C.C.S. DISK AND NOT STAMPED.
ELEVATION = 807.09 (NAVIG 88)

ITEM #1:
CUT SQUARE ON THE NORTH END OF A SANITARY MANHOLE NEAR THE NW CORNER OF LOT 74 IN SLATER RIDGE SECTION 3.
ELEVATION = 839.84 MANHOLE CASTING RESET

ITEM #2:
CUT SQUARE ON THE NW CORNER OF A CONCRETE WALK NEAR THE NW CORNER OF LOT 74 IN SLATER RIDGE SECTION 3.
ELEVATION = 839.83

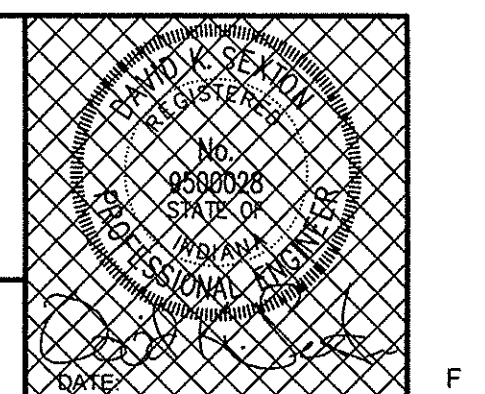
ITEM #3:
MAG STRIKE SET 1 FOOT UP IN POWER POLE 4057-007 ALONG THE EAST SIDE OF GRAY ROAD NEAR THE SW CORNER OF THE SURVEYED TRACT.
ELEVATION = 833.39

FOR CONTINUATION SEE SHEET C402

RECORD DRAWING
Sanitary Sewers

SCALE: 1"=50'

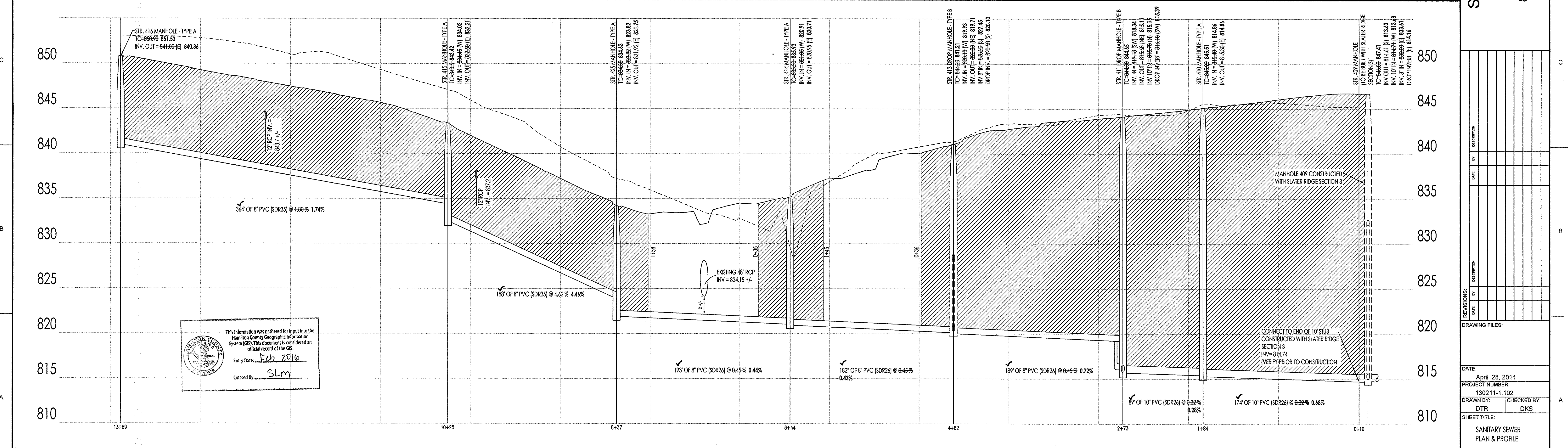
SLATER RUN SECTION 2
Hamilton County, Noblesville, IN
M/I Homes of Indiana, L.P.
8500 Keystone Crossing, S590
Indianapolis, IN 46240



TERRA
SITE DEVELOPMENT, INC.
DEVELOPMENT & ENGINEERING CONSULTANTS

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1307 W. 161st Street
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WWW.TERRASITEDEV.COM

SANITARY SEWER PLAN



SANITARY SEWER PROFILE

LEGEND

- Existing Grade
- Proposed Grade

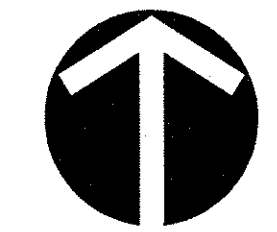
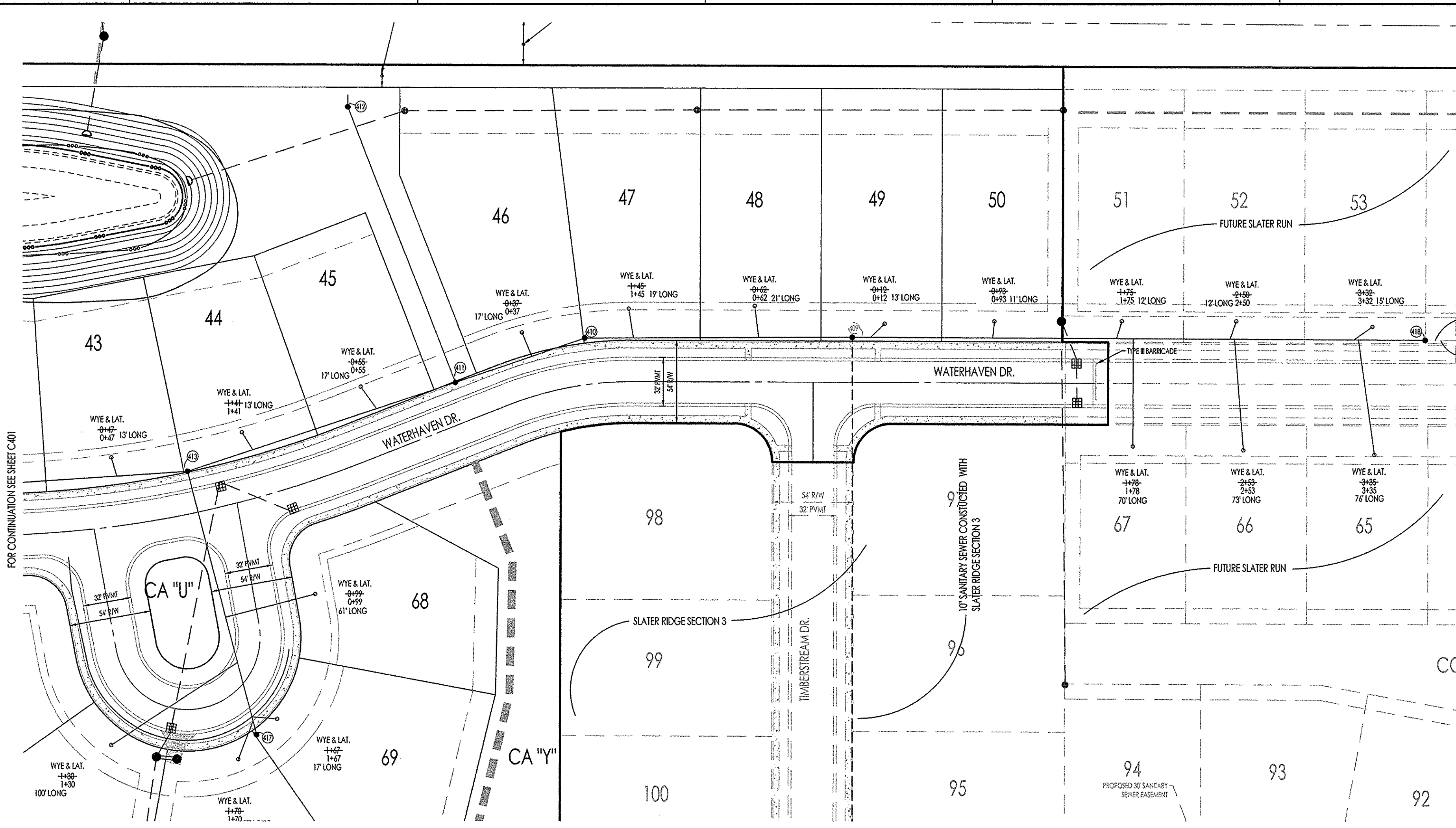
SCALE: HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

SHEET #:
C401
of 2



CERTIFIED BY: *L. Jain* September 4, 2014

NOTE:
RECORD DRAWING CERTIFICATION IS ONLY FOR HOUSE LATERAL LOCATION MARKERS, TOP OF CASTING ELEVATION, INVERT ELEVATIONS AND LENGTHS OF PIPE. SLOPE PERCENTAGES REPRESENT A CALCULATED FIGURE AND IS FOR GENERAL INFORMATION ONLY.



RECORD DRAWING Sanitary Sewers



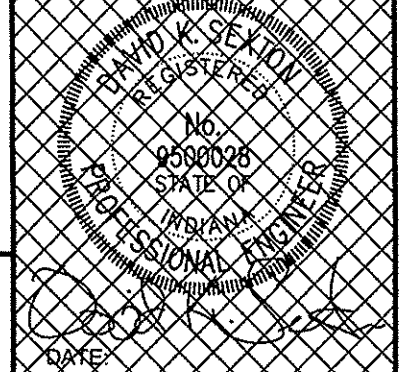
- NOTES
- ALL STREETS TO BE 32' IN WIDTH (MEASURED FROM 8'-6" OF CURB) UNLESS OTHERWISE NOTED.
 - ALL RIGHTS-OF-WAY TO BE 54' IN WIDTH UNLESS OTHERWISE NOTED.
 - ALL CURB RADIUS AT INTERSECTIONS ARE 25' TO BACK OF CURB UNLESS OTHERWISE NOTED.
 - ALL STREET RIGHT OF WAY INTERSECTIONS TO BE ROUNDED WITH A 25' RADIUS UNLESS OTHERWISE NOTED.
 - TEMPORARY TRAFFIC CONTROL DURING CONSTRUCTION TO CONFORM TO APPLICABLE LOCAL AND STATE STANDARDS.
 - ALL CONSTRUCTION ACTIVITY ON THIS SITE TO BE PERFORMED IN COMPLIANCE WITH APPLICABLE O.S.H.A. STANDARDS FOR WORKER SAFETY.
 - IF SHALL BE THE CONTRACTORS RESPONSIBILITY TO FIELD VERIFY ALL UTILITY LOCATIONS BEFORE CONSTRUCTION BEGINS.
 - CONTRACTOR SHALL MINIMIZE DAMAGE TO EXISTING TREES.
 - ALL STREETS TO BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF NOBLESVILLE STANDARDS AND SPECIFICATIONS.
 - ALL SANITARY SEWER, STORM SEWER AND WATERMAIN TRENCHES WITHIN 5 FEET OF PAVEMENT AND SIDEWALKS ARE REQUIRED TO HAVE FULL DEPTH GRANULAR BACKFILL.
 - LATERALS ARE STATIONED FROM NEAREST DOWNSTREAM MANHOLE.
 - WYES AND LATERALS TO BE 6" DIAMETER PIPE.

BENCHMARKS
BASE OF ELEVATIONS:
A STATE SURVEY STANDARD DISK, STAMPED 104 AND SET IN THE TOP OF A CONCRETE POST FLUSH WITH THE GROUND, AT THE SW CORNER OF MILL CREEK ROAD AND THE OLD CENTRAL INDIANA RAILROAD. NOTE: DISK FOUND IS A C.G.S. DISK AND IS NOT STAMPED. ELEVATION = 809.09 (NAVD 88)

BM #1:
CUT X SET ON THE NORTH RIM OF A SANITARY MANHOLE NEAR THE NW CORNER OF LOT 46 IN SLATER RIDGE SECTION 1. ELEVATION = 837.84

BM #2:
CUT SQUARE ON THE NW CORNER OF A CONCRETE WALK NEAR THE NW CORNER OF LOT 46 IN SLATER RIDGE SECTION 1. ELEVATION = 839.83

BM #3:
WING SPIKE SET 1 FOOT UP IN POWER POLE 8057-007 ALONG THE EAST SIDE OF GRAY ROAD NEAR THE SW CORNER OF THE SURVEYED TRACT. ELEVATION = 833.59



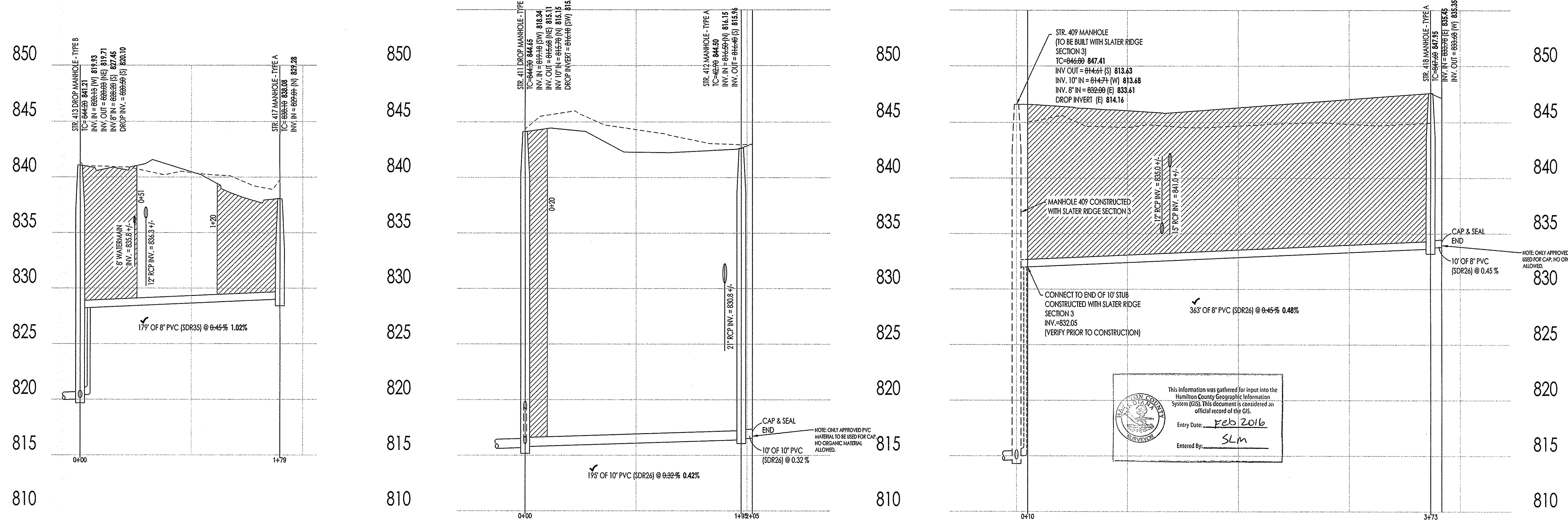
TERRA
SITE DEVELOPMENT, INC.
DEVELOPMENT & ENGINEERING CONSULTANTS

SLATER RUN SECTION 2
Hamilton County, Noblesville, IN
M/I Homes of Indiana, L.P.
8500 Keystone Crossing, S590
Indianapolis, IN 46240

SANITARY SEWER PLAN

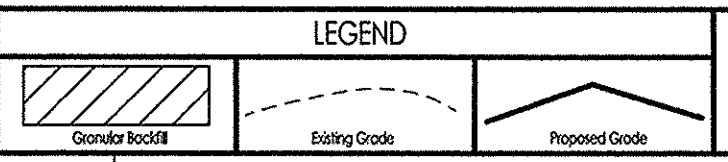
FOR CONTINUATION SEE SHEET C402

SCALE: 1"=50'



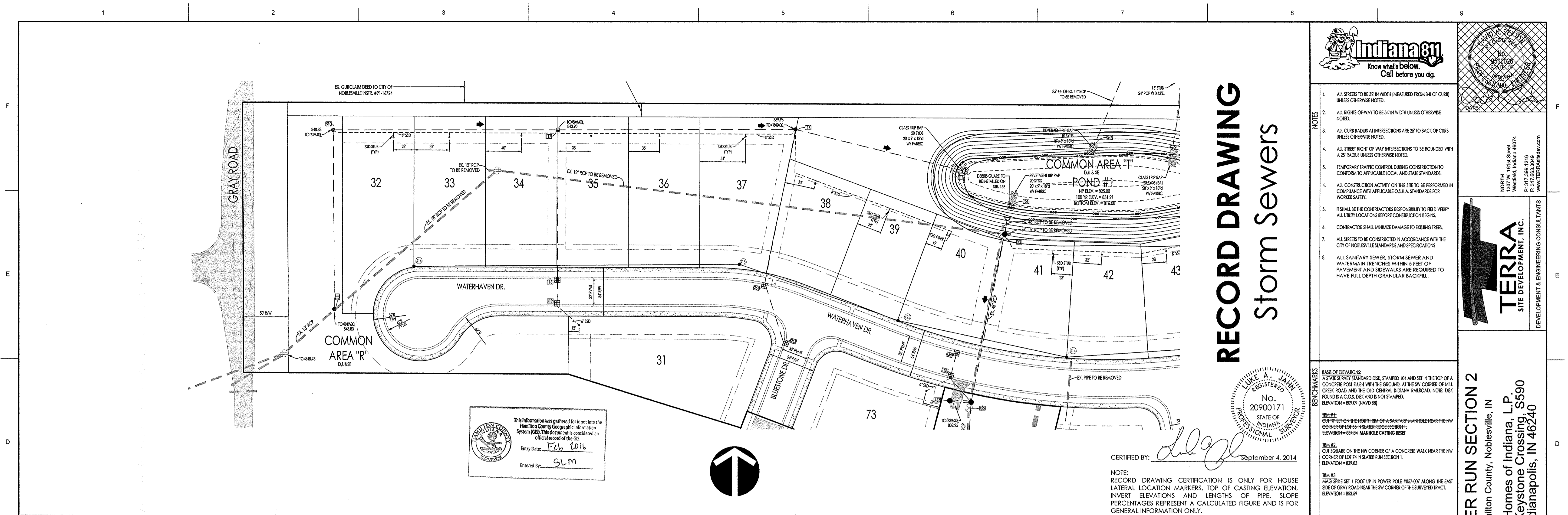
This information was gathered for input into the Hamilton County Geographic Information System (GIS). This document is considered an official record of the GIS.
Entry Date: Feb 2016
Entered By: SLM

SANITARY SEWER PROFILE

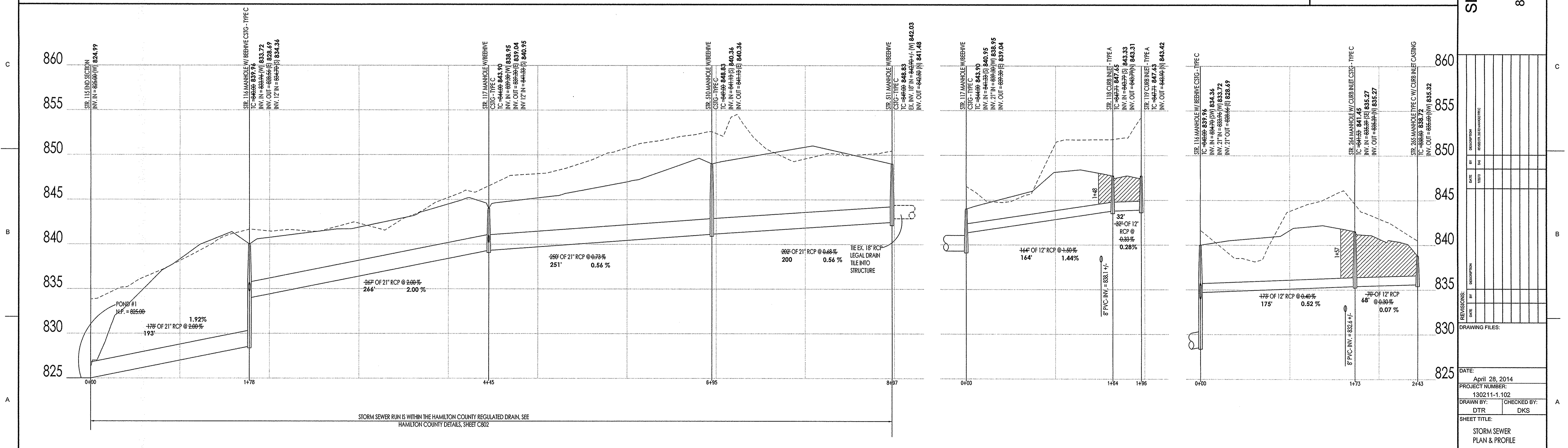


SCALE HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

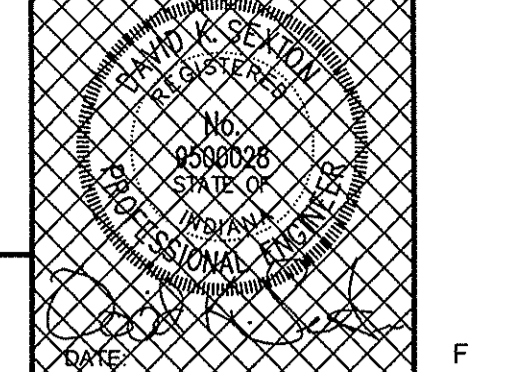
SHEET #
C402
of 2



STORM SEWER PLAN



STORM SEWER PROFILE



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SITE DEVELOPMENT, INC.
DEVELOPMENT & ENGINEERING CONSULTANTS

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SLATER RUN SECTION 2
Hamilton County, Noblesville, IN
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8500 Keystone Crossing, S590
Indianapolis, IN 46240

REVISIONS:	DATE	DESCRIPTION

DRAWING FILES:

DATE: April 28, 2014
PROJECT NUMBER: 130211-1.102
DRAWN BY: DTR
CHECKED BY: DKS
SHEET TITLE: STORM SEWER PLAN & PROFILE

SHEET #:
C601
of 2

